

A G E N D A
REGULAR MONTHLY MEETING OF THE BOARD OF DIRECTORS
SEAL BEACH MUTUAL SEVEN
January 17, 2018
(Meeting begins 1:00 p.m.)

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE
2. SHAREHOLDER COMMENTS (2-3 minutes per shareholder. Agenda items only.)
3. ROLL CALL
4. INTRODUCTION OF GRF REPRESENTATIVE, STAFF, AND GUEST(S):
 - Mr. Rotter, Solar Chair
 - Ms. Rapp, GRF Representative
 - Ms. Hopkins, Mutual Administration Director
 - Mr. Hurtado, Building Inspector
 - Mrs. Aquino, Recording Secretary
5. APPROVAL OF MINUTES:
Regular Meeting Minutes of December 20, 2017
6. BUILDING INSPECTOR'S REPORT Mr. Hurtado
Permit Activity; Escrow Activity; Contracts & Projects; Shareholder and Mutual Requests (p. 3)
 - a. Maintenance Contract
7. **GUEST SPEAKER – SOLAR REPORT** **Mr. Rotter**
8. **UNFINISHED BUSINESS**
 - a. Architectural Standards/Patio Covers – Update Mr. Bennett
 - b. Discuss amending Policy 7510.07 – Eligibility Requirements Mrs. Fellows
(p. 5-8)
 - c. Discuss amending Policy 7582.07 – Towing Vehicles (p. 9-13)
 - d. Discuss amending Policy 7502.07 – Carport Regulations (p. 15-21)
 - e. Discuss amending Policy 7584.07 – Mutual and Street Parking (p. 23-25)
9. **NEW BUSINESS**
 - a. Discuss and approve re-piping of water lines (p. 27)
 - b. Discuss and approve Empire Pipe Cleaning Contract (p. 29)
 - c. Discuss and approve Air Quality Monitors by Purple Air (p. 31)
 - d. Renumbering Sub-Committee Status Report
 - e. Emergency Information – Label Blue Water Barrels Mrs. Rogers
 - f. Resolution for Incident Report handling (p. 33)

NEW BUSINESS (continued)

- g. Resolution for Orange County Fire Authority – Master Lock Box Keys
(p. 35)
- h. Resolution for Assembly Bill 634, Senate Bill 407 and Proposition 64 (p. 37)

STAFF SECRETARY BREAK 3:00 p.m.

- 10. SECRETARY / CORRESPONDENCE Ms. Rettela
- 11. CHIEF FINANCIAL OFFICERS REPORT Mrs. Fellows
 - a. Investment of \$100,000 in our Merrill Lynch bank reserve portfolio in short-term CDs to collect interest. (p. 39)
- 12. GRF REPRESENTATIVE Ms. Rapp
- 13. MUTUAL ADMINISTRATION DIRECTOR Ms. Hopkins
- 14. ANNOUNCEMENTS
 - a. Consider running for the Board: Call any Directors if you have any questions about what is involved in being a member of the Board.
- 15. COMMITTEE REPORTS
- 16. DIRECTORS' COMMENTS
- 17. SHAREHOLDER(S)' COMMENTS (2-3 MINUTES)
- 18. ADJOURNMENT
- 19. EXECUTIVE SESSION

STAFF SECRETARY WILL LEAVE THE MEETING BY 4:10 p.m.

NEXT MEETING WEDNESDAY, FEBRUARY 21, 2018, in the Administration Building, Conference Room A, at 1:00 p.m.

INSPECTOR MONTHLY MUTUAL REPORT

MUTUAL: **(07) SEVEN**

INSPECTOR: **George Hurtado**

MUTUAL BOARD MEETING DATE: **January 17, 2018** October

PERMIT ACTIVITY

| UNIT # | DESCRIPTION OF WORK | GRF/CITY PERMIT | PERMIT ISSUE | COMP. DATE | CHANGE ORDER | RECENT INSPECTION | CONTRACTOR / COMMENTS |
|--------|-----------------------|-----------------|--------------|------------|--------------|-------------------|-----------------------|
| 148B | walk in tub | yes | 08/23/17 | 12/12/18 | no | | Buenos Construction |
| 166B | windows,doors | yes | 10/18/17 | 12/13/17 | no | | Hadi Construction |
| 166K | carport cabinet | yes | 12/01/17 | 01/15/18 | no | | Mike Banfield |
| 175C | heatpump | yes | 11/20/17 | 02/28/18 | no | | Greenwood |
| 165C | carport cabinet | yes | 12/26/17 | 02/04/18 | no | | Mike Banfield |
| 166J | carport cabinet | yes | 01/02/18 | 01/31/18 | no | | Mike Banfield |
| 163I | patio carpet | yes | 12/26/17 | 02/05/18 | no | | Kary's Carpet |
| 170B | washer/dryer,cabinets | yes | 01/03/18 | 04/20/18 | no | | Ogan |

ESCROW ACTIVITY

| UNIT # | NMI | PLI | NBO | FI | FCOEI | ROF | DOCUMENTS/COMMENTS |
|--------|-----|----------|----------|----------|----------|-----|--------------------|
| 167I | | | 01/10/18 | | | | |
| 170L | | | 12/28/17 | 01/05/18 | 11/30/17 | | |
| 170B | | 11/21/17 | | | 12/28/17 | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |

NMI = New Member Inspection
PLI = Pre-Listing Inspection
NBO = New Buyer Orientation
FI = Final Inspection
FCOEI = Final COE Inspection
ROF = Release of Funds

CONTRACTS

| CONTRACTOR | PROJECT |
|------------------------------|----------------------------|
| Fenn | termites and pests |
| Total Landscape | gardening |
| Empire Pipe | sewer cleaning |
| Innovative Cleaning Services | laundry rooms / partitions |
| Jordan Roofing | Roofs (163,164,165) |
| | |

SPECIAL PROJECTS

| CONTRACTOR | PROJECT |
|----------------|---------------------------------|
| Jordan Roofing | roofing - buildings 163,164,165 |
| | |

APARTMENT VISITS

Various

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Mutual Corpportation No. Seven

MEMO

TO: MUTUAL SEVEN BOARD OF DIRECTORS
FROM: MUTUAL ADMINISTRATION
SUBJECT: DISCUSS AMENDING POLICY 7510.07 – ELIGIBILITY REQUIREMENTS
(UNFINISHED BUSINESS ITEM B)
DATE: JANUARY 17, 2017
CC: MUTUAL FILE

I move to amend Policy 7510.07 – Eligibility Requirements on a preliminary basis until the 30-day posting period has been complete.

MUTUAL OPERATIONS**RESIDENT REGULATIONS****Eligibility Requirements – Mutual Seven**

All persons seeking approval of the Board of Directors of Seal Beach Mutual No. Seven to purchase a share of stock in the Mutual, and to reside in the Mutual, shall meet the following eligibility criteria:

A. Apply for and be accepted as a member of the Golden Rain Foundation, Seal Beach, California.

B. Meet the Mutual eligibility criteria as follows:

1. Age

Minimum of 55 years, as confirmed by a birth certificate or passport. A driver's license is not acceptable as proof of age.

2. Financial Ability

a. Verified monthly income that is at least four (4) times or greater the monthly carrying charge (Regular Assessment plus Property Tax and Fees) at the time of application, and have liquid assets of at least \$25,000. Verified monthly income/assets may be in the form of the past two years of:

1. Tax returns;
2. 1099s for interest and dividends;
3. 1099-Rs for retirement income from qualified plans and annuities;
4. SSA-1099 Social Security Benefit Statement;
5. Brokerage statements and current interim statement.
6. Six to twelve months of checking/savings account statements.

b. Adjusted Gross Income per 1040, 1040A, or 1040EZ; plus that portion of Social Security, IRA distributions, and pensions and annuities not included in adjusted gross income; plus tax exempt interest; minus income tax, Social Security, Medicare, and self-employment taxes paid; and minus Medicare medical insurance and prescription drug premiums; all divided by twelve (12) will equal net monthly income to be used in Paragraph 2.a. above.

c. Projected assessments will be the previous year's assessment (total of carrying charge less any cable charge, less Orange County Property Taxes and Fees), and the addition of the new property tax at 1.2% of the sales price plus Orange County District fees divided by twelve (12) for the new projected monthly assessment. This new figure (Regular Assessment plus Orange County Property Taxes and District Fees) times four (4) will be the monthly income required. This will be verified by the

MUTUAL OPERATIONS**RESIDENT REGULATIONS****Eligibility Requirements – Mutual Seven**

escrow company and the Stock Transfer Office. Stock Transfer shall have the final say in establishing verifiable income/assets.¹

Verification shall be done by the escrow company and the Stock Transfer Office prior to the new buyer interview and prior to the close of escrow (the above verification will not be done by the individual Mutual Director; Directors will not be required to study or understand the financial requirements).

- d. Only the resident shareholder's income shall be considered for qualifying.
- e. If moving within Leisure World, or if there are any additions/changes to the title, the proposed shareholder(s) must meet these eligibility requirements.

3. Health

Have reasonably good health for a person of his/her age, so that shareholder can take care of normal living needs without calling on other members of the cooperative for an undue amount of assistance.

- C. Assume, in writing, the obligations of the "Occupancy Agreement" in use by the Mutual Corporation.

Officers or Committees of the Board of Directors designated to approve new applicants are responsible that the eligibility criteria of this corporation is equitably applied to all applicants. Approval or disapproval of buyer(s) must be received by the Stock Transfer Office at least ten (10) working days prior to the close of escrow.

1 If major remodeling, expansion, or addition of a bathroom is being considered, the increase in taxes over the 1.2% of the purchase price must be taken into consideration.

(Sept 17)

MUTUAL OPERATIONS

RESIDENT REGULATIONS

Eligibility Requirements – Mutual Seven

I have read and understood what is required for eligibility consideration in the above named Mutual, including necessary documentation.

Prospective Buyer

Date

Prospective Buyer

Date

Prospective Buyer

Date

Prospective Buyer

Date

MUTUAL ADOPTION

AMENDMENT DATES

SEVEN: 05-15-70

09-17-93, 09-19-08, 09-20-17

Mutual Corporation No. Seven

MEMO

TO: MUTUAL SEVEN BOARD OF DIRECTORS
FROM: MUTUAL ADMINISTRATION
SUBJECT: DISCUSS AMENDING POLICY 7582.07 – TOWING VEHICLES
(UNFINISHED BUSINESS ITEM C)
DATE: JANUARY 17, 2018
CC: MUTUAL FILE

I move to adopt Policy 7582.07 – Towing Vehicles on a preliminary basis until the 30-day posting period is completed.

MUTUAL OPERATIONS**ADOPT DRAFT POLICY****SHAREHOLDER REGULATIONS****Towing Vehicles – Mutual Seven**

This Seal Beach Towing Policy (the “Towing Policy”) governs Seal Beach Mutual Seven (the “Mutual”) as it relates to the removal of vehicles that are in violation of California Vehicle Codes (“CVC” regulations), Mutual policies and/or GRF policies in accordance with the CVC. This Towing Policy is not intended to provide an exhaustive list of all requirements to be undertaken during the legal removal of a vehicle from the Mutual. To the extent of any inconsistency between the CVC and this Towing Policy, the CVC shall be controlling. Additionally, this Towing Policy may set forth standards and procedures different from the towing policies administered by the Golden Rain Foundation (“GRF”); in the event of inconsistencies between any GRF policy and this Towing Policy, this Towing Policy shall control and govern the towing of vehicles within Mutual Seven.

In conformance with the CVC, signage has been posted at all community entrance gates advising all persons who enter and exit Leisure World that Leisure World is a private property and unauthorized or illegally parked vehicles may be towed away at the vehicle owner’s sole expense. The phone numbers to the Seal Beach Police Department and towing company are listed on the signage.

The Mutual is currently contracted with a Towing Company. Any change in the contracted Towing Company shall not be considered a change in this Towing Policy so as to warrant a notice and comment period pursuant to California Civil Code, Section 4360.

1. Section 22658 CVC authorizes towing when the vehicle is parked:
 - a. In a fire lane.
 - b. Within fifteen (15) feet of a fire hydrant.
 - c. In a manner which interferes with an entrance to or exit from the Mutual development.
2. Vehicles may also be towed when found in violation of Mutual Seven Policy 7502.07 – Carport Regulations and Mutual Seven Policy 7584.07 – Mutual and Street Parking which prohibits parking in the Mutual Seven carports and/or on the Mutual Seven streets under the following conditions (without limitation):
 - a. The vehicle does not display in a prominent location on the vehicle a current and valid Leisure World Identification decal issued by the Golden Rain Foundation.
 - b. The vehicle has expired California registration tags.
 - c. The vehicle does not belong to a Mutual Seven member or Mutual Seven visitor and is not otherwise authorized by the Board of Directors to be parked in a Mutual Carport.

MUTUAL OPERATIONS

ADOPT DRAFT POLICY

SHAREHOLDER REGULATIONS

Towing Vehicles – Mutual Seven

- d. The vehicle is inoperable or lacks an engine, transmission, wheels, tires, doors, windshield or any other major part or equipment necessary to operate safely on the highways.
 - e. To prevent fires and contamination of storm drains, Mutual Seven Carport Policy 7502.07 – Carport Regulations and Mutual Seven Parking Policy 7584.07 – Mutual and Street Parking prohibit parking a vehicle in Mutual Carports or on Mutual Streets when that vehicle is leaking gasoline or other hazardous fluids and the applicable vehicle owner cannot be located. This violation may result in towing in accordance with this Towing Policy.
3. The notice and towing procedures for the removal of vehicles within the Mutual are as follows:
- a. Any vehicle parked (1) within fifteen (15) feet of a fire hydrant, (2) in a fire lane or (3) in a manner that interferes with an entrance to or exit from the Mutual property may be towed without prior notice of violation or notice of intent to tow.
 - b. Any vehicle that is leaking gasoline or other hazardous fluids and the owner of the vehicle cannot be located may be towed in accordance with this Towing Policy.
 - c. When the urgent need for towing comes to the attention of two concurring Directors, the Mutual President will be advised and the following procedure will ensue:
 - i. The two Board Members initiating the tow will provide a specific written authorization to tow; that written authorization should be on a form provided and completed by the Towing Company. That authorization shall include all of the following: (1) the make, model, vehicle identification number, and license plate number of the removed vehicle; (2) the names, signatures, job titles, business addresses and working telephone number of the two directors authorizing the removal of the vehicle; (3) the grounds for the removal of the vehicle; (4) the time when the vehicle was first observed parked in Mutual Seven, and (5) the time that authorization to tow the vehicle was given. In such cases, the Directors must be present in Mutual Seven at the time of the tow and verify the alleged violation, though they not need to be physically present at the location of the vehicle/tow.

MUTUAL OPERATIONS**ADOPT DRAFT POLICY****SHAREHOLDER REGULATIONS****Towing Vehicles – Mutual Seven**

- ii. The Towing Company shall give immediate notice of the tow to the owner of the vehicle in the manner described by the CVC. If the vehicle owner asks the Mutual or Towing Company to tell him/her the basis for the tow, the grounds for the tow must be stated to the vehicle owner.
 - iii. Per contract, the Towing Company shall as prescribed by law, promptly report all impounded vehicles to the appropriate law enforcement agency and will perform all operations within the guidelines described by CVC.
 - iv. The Mutual's representatives for all vehicle tows/removals shall be any two (2) Mutual Seven Directors. The Leisure World Security Department may be authorized by the applicable Directors to notify local law enforcement of tows and/or contact the Towing Company on behalf of the Mutual.
 - v. The Leisure World Security Department will maintain a current log of all towing transactions in order to direct vehicle owners to the appropriate towing company.
- d. When the violation is prolonged and/or of a less urgent nature, the Board has resolved to be guided by the following procedures:
- i. Any two Board members will consult with the President and upon agreement, will ask Security to mark the location of the violation and issue a 96-hour warning notice (citation) informing the vehicle owner of the violation and intent to tow upon noncompliance. A copy of the notice will be provided to the President of the Board.
 - ii. If there is no compliance after the 96-hour period, the President will ask Mutual Administration to send a registered letter informing the Registered owner of the intent to tow the vehicle within ten (10) working days unless the violation has been remedied.
 - iii. When the return receipt is received by Mutual Administration, it will serve as confirmation of notification, the President will be advised and this date will initiate the 10-day compliance period. If the violation continues after ten (10) working days, towing procedures will commence as discussed under 3c.

MUTUAL OPERATIONS

ADOPT DRAFT POLICY

SHAREHOLDER REGULATIONS

Towing Vehicles – Mutual Seven

4. All towing and storage fees will be the responsibility of the vehicle owner.
5. If the vehicle owner appears during the towing process and before the vehicle is outside of Mutual Seven and in transit, the vehicle may be released to the owner. To the extent permitted by CVC, the owner may be subject to fees or amounts levied by the Towing Company.
6. GRF and the Mutual shall not be liable or responsible for the removal of a vehicle from Leisure World Property except to the extent determined by applicable law. Any failure by the Mutual or its Board to tow a vehicle in violation shall not be deemed a waiver of its rights to enforce.

MUTUAL ADOPTION

SEVEN:

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Mutual Corporation No. Seven

MEMO

TO: MUTUAL SEVEN BOARD OF DIRECTORS
FROM: MUTUAL ADMINISTRATION
SUBJECT: DISCUSS AMENDING POLICY 7502.07 – CARPORT REGULATIONS
(UNFINISHED BUSINESS ITEM D)
DATE: JANUARY 17, 2018
CC: MUTUAL FILE

I move to amend Policy 7502.07 – Carport Regulations on a preliminary basis until the 30-day posting period is completed.

AMENDED DRAFT

RESIDENT REGULATIONS

Carport Regulations – Mutual Seven

A. Carport Use

1. Carports are for the use of Mutual Seven Shareholders and Registered Co-occupant. Use by anyone else is prohibited. Passenger vehicles are to be parked heading in, and shall be licensed and insured in compliance with Department of Motor Vehicles regulations. They shall also exhibit a current and valid Leisure World identification decal issued by the Golden Rain Foundation and have current DMV registration tags.
2. The rear of the vehicle registered to park in the carport space, or any vehicle parked there, must not extend beyond the drip line of the carport roof. The area outside the drip line is a common walkway area and must remain clear.
3. Carports are to be used for parking of self-propelled land vehicles in operating condition. ~~Any stored items in the carports must be completely contained in the carport cabinets, except as stated in Section A, Paragraph 7.~~ **Any vehicle lacking an engine, transmission, wheels, tires, doors brakes or any other major part of equipments necessary to operate safely on highways is prohibited from parking in the Mutual Seven Carports and is subject to towing.**
4. Mutual Seven prohibits the storage of fuel, oil or any combustible material in the carport areas. No Storage of propane tanks are allowed in the carports (see Policy 7427. 07 – Barbecue Usage). Upon discovery of any combustible materials in the carport area the Mutual is authorized to have them removed immediately.
5. Carport space may not be rented to, used by, or exchanged with anyone who is not a verified Mutual Seven Shareholder. All rental or use agreements must be registered with Stock Transfer. However, the carport assignee may allow temporary short-term parking (30-day intervals) for a vehicle used by a houseguest with Mutual Board approval and all applicable permits.
6. Mechanical repairs of vehicles in carports are not permitted except for minor maintenance such as jumping of a battery, tire changing, checking oil or water, changing wiper blades or windshield repair. Adding or changing of oil or any engine fluids is not permitted. Painting of vehicles in Mutual Seven carports is not permitted
7. **Any stored items in the carports must be completely contained in the carport cabinets except for the following:** A maximum of three of the following items are allowed **on the raised concrete shelf** in front of the car in the shareholder's assigned or rented space: two bicycles or tricycles, in operating condition, a grocery cart/hand cart, a ladder/step stool for access to storage and a non-propane barbeque. A kayak or two-wheeled bicycle may also be hung over a vehicle using bicycle hooks or an approved pulley system (at shareholder's risk). Any damage from this type of storage is the responsibility of the shareholder. Vehicles such as motorcycles, mopeds, gas or electric carts require

AMENDED DRAFT

RESIDENT REGULATIONS

Carport Regulations – Mutual Seven

separate parking accommodations. Bicycles and tricycles may not be parked between self-propelled land vehicles in adjacent carport spaces due to infringement. **The floor car space may NOT be used as a storage area, whether free-standing or in any type of container.**

8. Washing vehicles in the carports is prohibited. Resident's Shareholders vehicles can be washed at the facility provided at Clubhouse Two.

9. ~~**Any stored items in the carports must be completely contained in the carport cabinets except as stated in Section A, Paragraph 7.**~~ The floor space may NOT be used as a storage area, whether free-standing or in any type of container. Boats or trailers of any size or kind may not be parked in the carport.

10. Any damages sustained to the carport are the responsibility of the assigned shareholder. Shareholder is responsible for any damages incurred by renters.

11. At each inspection of the carports by the Mutual Board Representative, a notice will be given to any shareholder whose carport space is found in violation of this policy. Improperly stored material must be removed within ten (10) days or the material will be removed at the shareholder's expense.

12. Any vehicle that is not compliant with these rules may be towed at the owner's expense as specified in CVC 22658. See Mutual Towing Policy 7582.07.

B. Carport Maintenance

1. Any vehicle leaking oil, gasoline, engine fluids, anti-freeze, or any other hazardous material is prohibited from parking in a Mutual Seven carport or on a Mutual Seven street or driveway. To prevent contamination of city storm drains, leaking vehicles may be towed.

2. Shareholders are responsible to maintain the carport by removing unsightly oil or emissions spots.

a. Shareholders must remove all spots upon discovery. If shareholder fails to remove the spot, the shareholder shall be notified and be given five (5) business days to have it cleaned up. If the shareholder does not remove the spot, the Mutual Corporation shall have it removed at the expense of the shareholder and billed to the unit.

b. Shareholders may request or use any professional oil removal group of their own. If the leak is not repaired, any future removals will be at the Shareholder's cost and may be without notice.

3. Any vehicle that is not compliant with these rules may be towed at the owner's expense. See Mutual Seven Towing Policy 7582.07.

RESIDENT REGULATIONS

Carport Regulations – Mutual Seven

C. Carport Assignments

1. Carport assignments are controlled by the Mutual Corporation and a record of assignments is kept in the Stock Transfer Office of the Golden Rain Foundation.
2. Shareholders desiring to change carport assignments must obtain approval of the Mutual Board of Directors so that the change can be recorded in the Stock Transfer Office.
3. The request for carport re-assignment, if approved, is only temporary and is valid only so long as both participating parties agree to the temporary change. Either party may withdraw from the agreement at any time provided the Mutual Board of Directors is notified. The Mutual Corporation at all times and at its discretion, retains the authority to revoke and cancel temporary change of carport assignments. The re-assignment of carport spaces, herein provided, will automatically become null and void in the event of a sale of the stock representing either unit, with absolutely no exceptions to the rules herein provided.

D. Golf Carts – Electric/Gas

Guidelines have been developed in response to the use of golf carts in Mutual Seven. See Policies 7506.07 – Sidewalk Traffic Restriction, 7507.07 Electric/Gas Cart , and 7507.07 Electric Cart Pad Mutual 7 only.

In addition, the following accommodation may be available in your carport.

1. An electrical outlet may be installed, by permit, in the carport for the purpose of charging an electric cart. Only two (2) electric outlets are allowed on one electric supply circuit. Electric circuits are only active at night when carport lights are on. The approved contractor will tap into the existing lighting circuit and install a box and a switch in the locker and an approved outlet box outside the locker. All materials will be painted to match the garage space.
2. Maintenance of the electrical circuit is allowed only by an approved contractor at the Shareholder's expense.
3. A flat, monthly charge for electric usage will be paid by the shareholder to Mutual Seven accounts. Shareholder will be billed on an annual basis for the electrical usage. Failure to comply with timely payments will result in the circuit being disconnected at the Shareholder's
4. At sale or transfer of the share of stock, the electrical outlet will be removed by approved contractor at Shareholder's expense.
5. The Mutual encourages all shareholders to park any and all vehicles in carports as much as possible, and obtain carport space and use for each vehicle they operate.

RESIDENT REGULATIONS

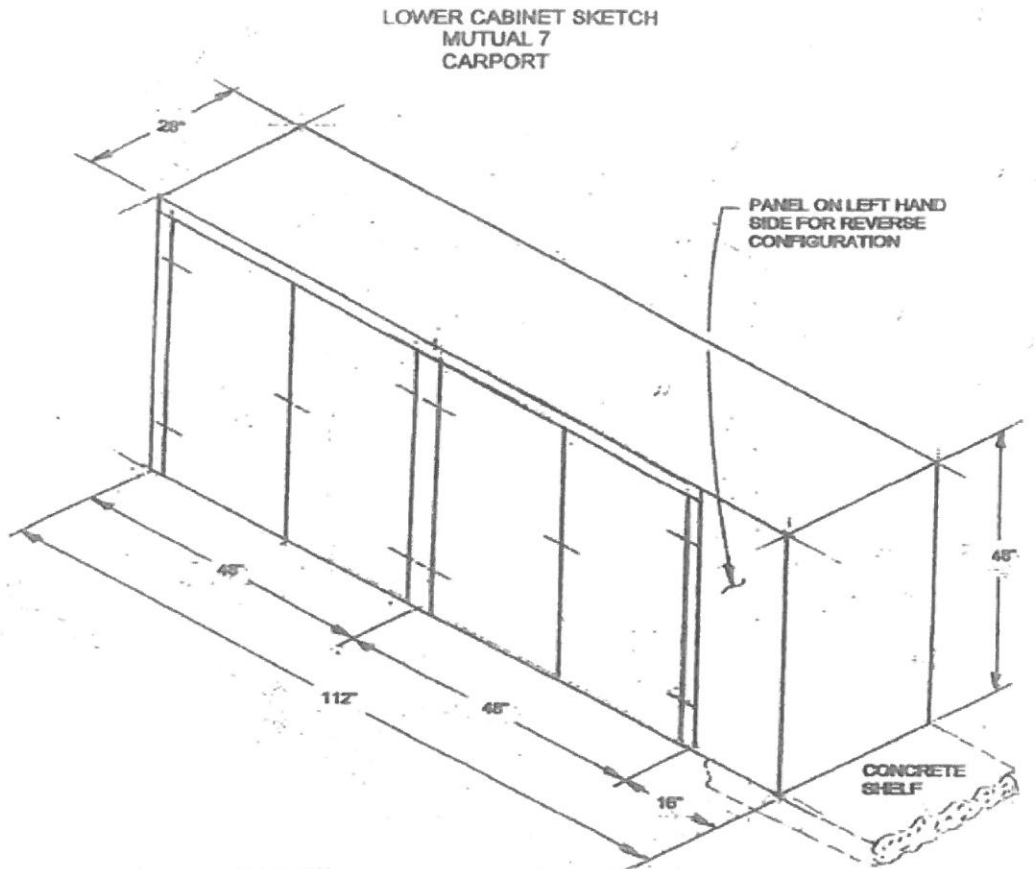
Carport Regulations – Mutual Seven

E. Secondary Carport Storage Cabinets

1. Shareholders are permitted to have a secondary carport storage cabinet installed beneath their existing cabinet with the approval of a Mutual Seven Director, approval of a Mutual Seven Inspector, and a permit from the GRF Physical Property Department before the cabinets are built and installed. Shareholder's vehicle and any future vehicles must fit within the carport drip line. Secondary carport storage cabinets are only to be constructed by a Mutual Seven approved contractor and after detailed plans have been presented to and approved by the Mutual Building Inspector, and the Board. Contractors must use block construction to prevent rodent habitation. If a storage cabinet is built without approval and/or permit, then the cabinet must be removed or brought into compliance at the shareholder's expense.
2. Shareholders must use a standard design approved by Mutual Seven.
3. The dimensions of the lower, secondary cabinet must conform to the dimensions of the upper cabinet. The lower cabinet doors must align with the doors of the upper cabinet. The depth of the lower, secondary storage cabinet must not exceed the depth of the concrete berm. Width must not exceed the width of the upper storage cabinet.
4. The exterior paint and hardware must match the existing upper cabinet.
5. Shareholders are responsible for maintaining and repairing any damage to any of the carport cabinets.
6. Secondary cabinets are a non-standard addition. If a subsequent owner does not want the cabinet, the seller must remove the secondary storage cabinet and restore the area to original condition, all at the seller's (shareholder's) expense.
7. No electricity may be installed inside secondary cabinets

RESIDENT REGULATIONS

Carport Regulations – Mutual Seven

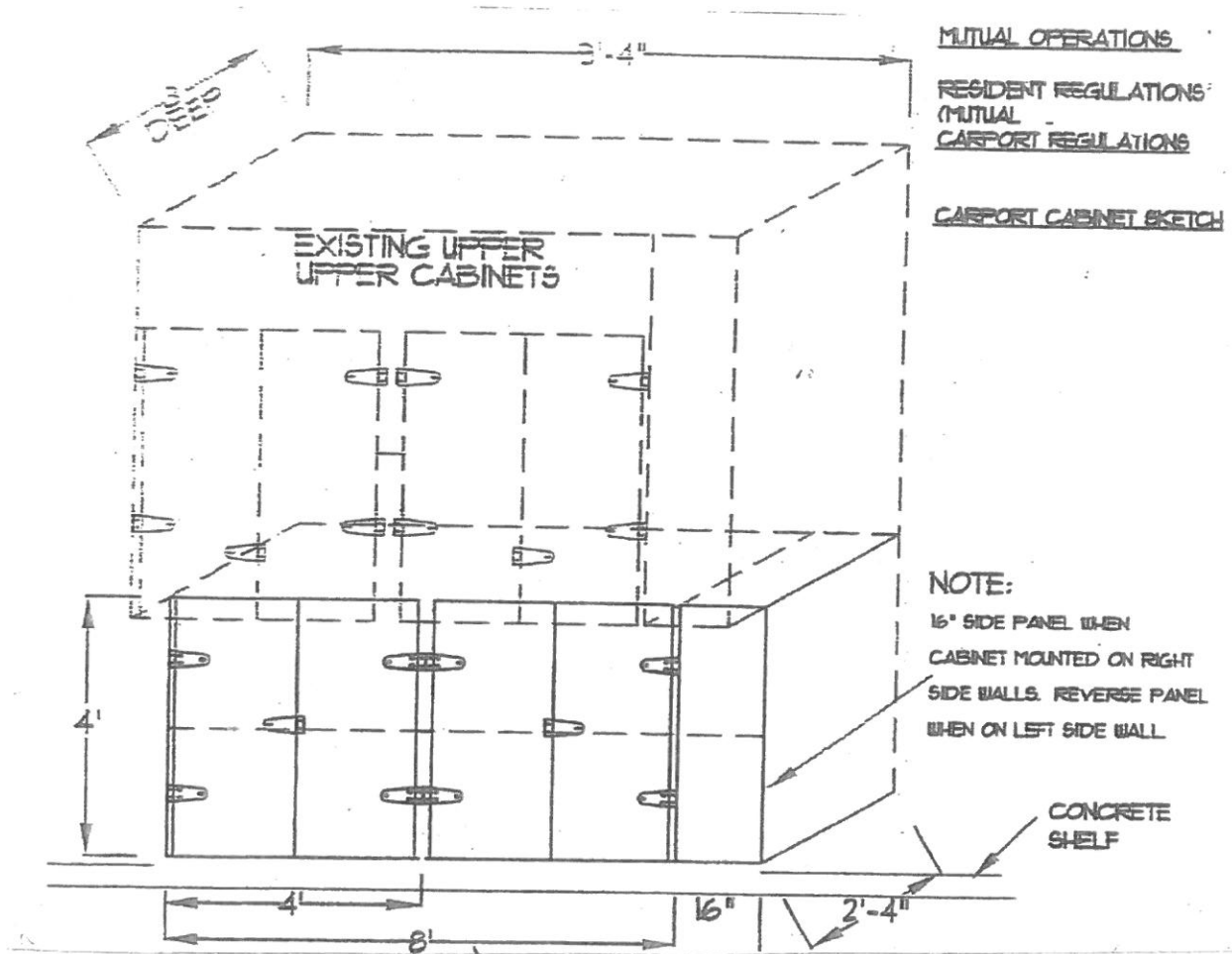


FRAME MATERIAL 2X4
FRONT AND SIDES $\frac{3}{4}$ " SANDED PLYWOOD
FLOOR $\frac{1}{2}$ " OR $\frac{3}{4}$ " SANDED PLYWOOD ON 2x4s OPTIONAL
FRONT EDGE OF FLOOR FINISHED WITH $\frac{3}{4}$ " PLYWOOD STRIP

AMENDED DRAFT

RESIDENT REGULATIONS

Carport Regulations – Mutual Seven



MUTUAL ADOPTION

AMENDMENTS

SEVEN: 07-03-72

10-15-90, 04-15-91, 09-21-91, 06-20-08, 06-18-10
11-16-11, -4-24-12, 02-28-13, 09-17-14, 08-16-17

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Mutual Corporation No. Seven

MEMO

TO: MUTUAL SEVEN BOARD OF DIRECTORS
FROM: MUTUAL ADMINISTRATION
SUBJECT: DISCUSS AMENDING POLICY 7584.07 - MUTUAL AND STREET PARKING –
(UNFINISHED BUSINESS ITEM E)
DATE: JANUARY 17, 2018
CC: MUTUAL FILE

I move to amend Policy 7584.07 – Mutual and Street Parking on a preliminary basis until the 30-day posting period is completed.

AMENDED DRAFT

SHAREHOLDER REGULATIONS

Mutual and Street Parking – Mutual Seven

1. Shareholders, caregivers, visitors, contractors, vendors, and delivery persons shall obey all traffic control devices including STOP signs, speed limits, and NO PARKING signs. Drivers shall be licensed by a State to operate the type of vehicle they are driving if a State would require a license to operate the vehicle on all public streets/highways. Vehicles shall have a current registration and license if the State would require a registration and license to operate the vehicle on all public streets/highways.

2. ~~Immediate Towing:~~ **Section 22658** ~~22953~~ (b) CVC authorizes immediate towing when the vehicle is parked:

- a. In a fire lane.
- b. Within 15' on either side of a fire hydrant.
- c. ~~In a handicapped parking space without proper plate or placard.~~
- d. In a manner which interferes with the entrance to or exit from Mutual 7.

See Towing Policy 7582.07

3. All shareholders, caregivers, visitors, contractors, vendors, and delivery persons **must** obey all curb markings. No double-parking is permitted. All visitor's vehicles must display GRF parking pass on the driver side dash face up at all times.

4. All accidents (including property damage) must be reported to Security and/or the Seal Beach Police.

5. Parking around the perimeter of the carports is for guest/contractor vehicles visiting or working for Mutual 7 shareholders. Contractors/vendors physically working in Mutual Seven may park from 8:00 a. m. to 5:00 p. m., Monday through Friday, with NO overnight or weekend parking (exceptions by Director approval only). Shareholder and guest vehicles may park in perimeter parking for a maximum of 72 hours as long as they fit into a clearly marked space.

6. Shareholders who regularly park on St. Andrews, Northwood, Southport Lane, Oakmont, Fairview and Kenwood should check newspaper for GRF Trust Street Sweeping Schedule.

7. No unlicensed person will be allowed to drive any motorized electric or gasoline powered vehicles within Mutual Seven.

8. Mutual 7 Shareholder's/Resident's recreational vehicles may park around the perimeter of the carports for a maximum of 72 hours for loading and unloading.

AMENDED DRAFT

SHAREHOLDER REGULATIONS

Mutual and Street Parking – Mutual Seven

9. Visitors driving a recreational vehicle must notify Security Department immediately upon entering the Community. Visitors may not park their RV's or motorhome around the perimeter of the carports. Visitors with a RV/motorhome must park on a Trust street or in a parking lot authorized by Security for that purpose. Trailers must remain attached to a motor vehicle at all times.

10. No hose or electric cord may be passed from any parked vehicle across any walkway or roadway at any time. Nothing may be discharged from any vehicle or recreational vehicle onto the ground or pavement or into any open container or storm drain.

11. Washing vehicles around the perimeter of the carports is prohibited. Shareholder's vehicles can be washed at the facility provided at Clubhouse Two.

12. Repair or painting of vehicles is prohibited on streets in Mutual Seven except for minor maintenance such as jumping of a battery, tire changing, checking oil or water, changing wiper blades or windshield repair. To reduce the likelihood of spills, adding or changing of oil or any engine fluids is not permitted.

13. To prevent fires and protect the storm drains, any vehicle found to be leaking gasoline or other hazardous fluids on any Mutual 7 streets, may be towed at owner's expense.

14. Shareholders or visitors desiring to use the parking facility west of Clubhouse Four must contact Security for parking authorization.

Electric and Gasoline Golf Cart regulations- see Policy 7507.07

MUTUAL
SEVEN

ADOPTION
08-16-17

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Mutual Corporation No. Seven

MEMO

TO: MUTUAL SEVEN BOARD OF DIRECTORS
FROM: MUTUAL ADMINISTRATION
SUBJECT: APPROVE RE-PIPING OF WATER LINES (NEW BUSINESS ITEM D)
DATE: JANUARY 17, 2018
CC: MUTUAL FILE

I move to approve the re-piping of water lines of seven buildings, at a cost not to exceed

\$_____, and authorize the President to sign the contract.

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Mutual Corporation No. Seven

MEMO

TO: MUTUAL SEVEN BOARD OF DIRECTORS
FROM: MUTUAL ADMINISTRATION
SUBJECT: ACCEPT EMPIRE PIPE CLEANING CONTRACT (NEW BUSINESS ITEM E)
DATE: JANUARY 17, 2018
CC: MUTUAL FILE

I move to accept the three year Empire Pipe Cleaning contract for 2017 to 2020, at a cost not to exceed \$ _____, and authorize the President to sign the contract.

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Mutual Corporation No. Seven

MEMO

TO: MUTUAL SEVEN BOARD OF DIRECTORS
FROM: MUTUAL ADMINISTRATION
SUBJECT: DISCUSS AND APPROVE AIR QUALITY MONITORS BY PURPLE AIR
(NEW BUSINESS ITEM F)
DATE: JANUARY 17, 2018
CC: MUTUAL FILE

I move to approve/deny Air Quality Monitors by Purple Air in Mutual Seven.

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Mutual Corporation No. Seven

MEMO

TO: MUTUAL BOARD OF DIRECTORS
FROM: MUTUAL ADMINISTRATION
SUBJECT: RESOLUTION FOR INCIDENT REPORT HANDLING
(NEW BUSINESS ITEM I)
DATE: JANUARY 17, 2018
CC: MUTUAL FILE

At the January 4, 2018, Presidents' Council, Executive Director Ankeny has respectfully requested the directive of each Mutual Board should a Shareholder(s) deem the need to contact GRF Security Services to take an Incident Report relative to actions imposed by the Mutual Boards and/or Director.

I move that should a Shareholder(s) request an Incident Report relative to actions of a Mutual Board or a Mutual Board member, that GRF Security Services is to direct the Shareholder to draft correspondence to the attention of the Mutual Board.

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Mutual Corporation No. Seven

MEMO

TO: MUTUAL BOARD OF DIRECTORS
FROM: MUTUAL ADMINISTRATION
SUBJECT: RESOLUTION FOR ASSEMBLY BILL 634 SENATE BILL 407 AND
PROPOSITION 64 (NEW BUSINESS ITEM K)
DATE: JANUARY 17, 2018
CC: MUTUAL FILE

At the January 4, 2018, Presidents' Council, Executive Director Ankeny has respectfully requested and recommended that each Mutual Board contact respective legal counsel to protect the best interests of the Mutual in this important matter for possible drafting of Policy.

I move to request legal counsel opinion regarding AB (Assembly Bill) 634 SB (Senate Bill) 407 and Proposition 64.

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Mutual Corporation No. Seven

MEMO

TO: MUTUAL BOARD OF DIRECTORS
FROM: MUTUAL ADMINISTRATION
SUBJECT: RESOLUTION FOR ORANGE COUNTY FIRE AUTHORITY – MASTER LOCK
BOX KEYS(NEW BUSINESS ITEM J)
DATE: JANUARY 17, 2018
CC: MUTUAL FILE

At the January 4, 2018, Presidents' Council, Executive Director Ankeny has respectfully requested the directive of each Mutual Board to provide the Orange County Fire Authority with Master Lock Box Keys.

I move to authorize GRF (Golden Rain Foundation) to provide Orange County Fire authority with **four (4)** master lock box keys to be used in any and all emergency situations that may arise within the Mutual.

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Mutual Corporation No. Seven

MEMO

TO: MUTUAL SEVEN BOARD OF DIRECTORS
FROM: MUTUAL ADMINISTRATION
SUBJECT: INVEST \$100,000 IN MERRILL LYNCH BANK RESERVE PORTFOLIO IN
SHORT-TERM CDS TO COLLECT INTEREST (CFO REPORT ITEM A)
DATE: JANUARY 17, 2018
CC: MUTUAL FILE

I move to invest \$100,000 in Merrill Lynch bank reserve portfolio in short-term CDs to collect interest.