

**A G E N D A**  
**REGULAR MONTHLY MEETING OF THE BOARD OF DIRECTORS**  
**SEAL BEACH MUTUAL SEVEN**  
**September 21, 2016**  
**1:00 p.m. in Administration Building Conference Room A**

1. SHAREHOLDER(S)' COMMENTS
2. CALL TO ORDER
3. *PLEDGE OF ALLEGIANCE*
4. ROLL CALL
5. INTRODUCTION OF GUESTS AND STAFF:
  - Ms. Rapp, GRF Representative
  - Ms. Hopkins, Mutual Administration Director
  - Mr. Hurtado, Building Inspector
  - Ms. Tina Schaffer, IT Technician
  - Mrs. Aquino, Recording Secretary
6. APPROVAL OF MINUTES: **Regular Meeting of August 17, 2016**  
**Special Meeting of August 31, 2016**
7. CORRESPONDENCE
8. BUILDING INSPECTOR'S REPORT Mr. Hurtado
  - a. Reverse 3 rows of deco blocks – patio
  - b. Ratify phone pole regarding Unit 155-F storage door windows
  - c. Skylight report – contractor  
(pages 4-7)
9. SPECIAL E-MAIL ACCOUNT FOR DIRECTORS Ms. Schaffer
10. CHIEF FINANCIAL OFFICER'S REPORT Mrs. Fellows
  - a. Report on budget and future projects
  - b. Inspection Fees, Escrow Accounts
11. OLD BUSINESS
  - a. Fire suppression system
  - b. Ratify Policy 7415.7 – Patio Regulations (pages 8-12)
  - c. Bid for paving
  - d. Report on Underground Vaults
12. NEW BUSINESS
  - a. Carport, Street Parking, and Towing policies (GRF updating)
  - b. Trash bin signs
  - c. California Shakeout Report

**STAFF BREAK (TIME TO BE DETERMINED BY PRESIDENT)**

13. MUTUAL ADMINISTRATION DIRECTOR Ms. Hopkins
14. GRF REPRESENTATIVE'S COMMENTS Ms. Rapp
15. DIRECTORS COMMENTS
16. SHAREHOLDER(S)' COMMENTS
17. ANNOUNCEMENTS
  - a. Schedule with Inspector Hurtado for water run in units
  - b. Board Training on Thursday, October 27, 2016, at 12:00 p.m. to 4:30 p.m.  
in Clubhouse Four
  - c. California Shakeout on October 20, 2016, at 10:20 a.m.
18. ADJOURNMENT
19. EXECUTIVE SESSION – (member issues)

**STAFF WILL LEAVE THE MEETING BY 4:10 P.M.**

**NEXT MEETING: WEDNESDAY, OCTOBER 19, 2016, at 1:00 p.m.  
ADMINISTRATION BUILDING CONFERENCE ROOM A,**

ka:9/15/16

**MINUTES OF THE SPECIAL WORK STUDY MEETING  
OF THE BOARD OF DIRECTORS  
SEAL BEACH MUTUAL SEVEN  
AUGUST 31, 2016**

A Special Work Study Meeting of the Board of Directors of Seal Beach Mutual Seven was called to order by President Rotter at 1:00 p.m. on Wednesday , August 31, 2016, in Building 5, in the Green Room

Those members present were: President Rotter, Vice President Rogers, Secretary Rettela, Directors Bennett and Director Hart, and Five Mutual Seven shareholders. CFO Fellows was absent.

The purpose of the meeting was to discuss and work on Mutual Seven Policies regarding Carports, towing and parking.

President Rotter adjourned the meeting at 3:46 p.m.

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Attest

Joyce Rettela, Secretary  
SEAL BEACH MUTUAL SEVEN

ka:9/2/16

# INSPECTOR MONTHLY MUTUAL REPORT

MUTUAL: (07) SEVEN

INSPECTOR: George Hurtado

MUTUAL BOARD MEETING DATE: September 21, 2016

PERMIT ACTIVITY									
UNIT #	DESCRIPTION OF WORK	GR/CIT Y PERMIT	PERMIT ISSUE	COMP. DATE	CHANGE ORDER	RECENT INSPECTION	CONTRACTOR / COMMENTS		
146G	remodel	yes	02/16/16	06/01/16	yes		Alpha Master Construction		
163C	remodel	yes	03/23/16	06/30/16	yes	drywall nailing, lath	Kress Construction		
155F	windows, shower, cabinets	yes	03/30/16	08/06/16	yes	final 9/16/16	Mamuscia Construction		
146G	heat pump	yes	05/16/16	08/16/16	no	final 9/1/16	Yes A/C		
168G	heat pump	yes	05/19/16	08/23/16	no		Greenwood		
159D	high side push out, 1/2 bath	yes	06/10/16	09/15/16	no	fram. elect, plumb 9/8/16	Ogan Construction		
153F	remodel	yes	07/19/16	11/30/16	no	footing 9/12/16	Pena Construction		
175E	washer, dryer, ceilings, elect.	yes	06/01/16	07/21/16	no	final 9/13/16	Los AI Builders		
155F	central air	yes	06/13/16	08/30/16	no	final 9/16/16	Greenwood		
148B	heat pump	yes	06/13/16	08/30/16	no		Greenwood		
171K	slider, windows	yes	06/17/16	07/25/16	no	final 8/25/16	Greco		
156G	windows, slider	yes	07/13/16	08/30/16	no		Los AI Builders		
171E	heat pump	yes	06/29/16	10/01/16	no		Greenwood		
166G	electrical	yes	07/12/16	08/20/16	no		Bergin		
154F	heat pump	yes	07/11/16	12/05/16	no		Greenwood		
154H	heat pump	yes	08/04/16	09/26/16	no		Alpine		
174D	heat pump	yes	08/08/16	11/16/16	no		Greenwood		



# INSPECTOR MONTHLY MUTUAL REPORT

MUTUAL: (07) SEVEN

INSPECTOR: **George Hurtado**

MUTUAL BOARD MEETING DATE: **September 21, 2016**

SPECIAL PROJECTS	
CONTRACTOR	PROJECT
Greco Construction	laundry room doors
contractor has not been selected / waiting on bids	paving repairs and seal coat @ carports

## APARTMENT VISITS

various apartment visits

**MUTUAL 7 ROOFS**

	repairs	ridge	condition	cracked skylight domes
lp	145	5	poor	
hp	146	4	fair	
lp	147	1	fair	
hp	148	2	good	
lp	149	0	good	
lp	150	0	fair	C - bath, kitchen
lp	151	0	fair	F,L - kitchen
lp	152	6	poor	J - kitchen
lp	153	2	fair	I - kitchen
hp	154	0	good	
lp	155	9	fair	
lp	156	4	poor	
lp	157	5	fair	I - bath, kitchen
lp	158	5	poor	
lp	159	9	fair	H - patio
hp	160	0	good	
lp	161	10	fair	
lp	162	7	fair	
lp	163	8	fair	
lp	164	13	poor	G,L - bath, kitchen. H - kitchen
lp	165	15	fair	I - bath, kitchen
hp	166	0	good	
lp	167	4	fair	
lp	168	5	fair	
lp	169	4	poor	
lp	170	12	poor	
lp	171	11	fair	
hp	172	0	good	
lp	173	6	poor	F - bath
lp	174	12	fair	
lp	175	5	poor	G - bath
lp	176	9	poor	E - kitchen

## MUTUAL OPERATIONS

### PHYSICAL PROPERTY

#### Patio Regulations – Mutual Seven

##### A. Patio Regulations

This policy has been developed in an effort to improve the appearance of the community and enhance property values. Also addressed is the need to meet applicable fire codes and the safety of each family. If followed, this policy will help keep pets from roaming and discourage rodents and other animals from entering patios.

1. Windows that may be needed as a secondary egress in the case of fire or other emergency shall not be blocked on either side. A clear path to the entry door of at least 36 inches shall be maintained to allow access for gurneys.
2. Only furniture that is designed for patios may be placed on a patio. Interior upholstered furniture is prohibited as this may become a rodent habitat.
3. A clean refrigerator or freezer in good working condition plugged directly into the patio outlet is permitted.
4. If a pet can escape from a patio, then the pet must be on a leash while on the patio.
5. Approved attachments to Deco Block:
  - a. New, clear Plexiglas is permitted if it is installed beginning at the third row from the bottom to ensure that water or moisture from the irrigation of garden areas doesn't get trapped between the Plexiglas (or other product) and the block wall as this will cause deterioration of the block.
  - b. White lattice is acceptable on the interior of the patio.
  - c. Only vinyl-coated wire mesh is permitted on the interior of the patio.
  - d. Deco Block may be filled in not more than three blocks high with cement by a qualified mason or by the Golden Rain Foundation Service Maintenance Department. It must be smoothed and painted the color of the stucco walls.

All attachments other than cement must be removed at the time of painting at shareholder's expense.

The following items shall not be stored on the patio:

1. Any type of cardboard container (new move-ins are provided a grace period of up to 30 days, after which all moving boxes must be eliminated).

(Drafted on 08/11/16 jl)



**MUTUAL OPERATIONS****PHYSICAL PROPERTY****Patio Regulations – Mutual Seven**

2. Highly flammable items, including newspapers, charcoal, magazines, paper or plastic bags, or any type of loose tarp.
3. Laundry hung for airing or drying. Instead, use the laundry room clotheslines that are provided for this purpose.
4. Gasoline-operated equipment or gas cans.
5. Electric tools on a permanent basis.
6. Exposed shelving, either free-standing or affixed to the exterior wall, except those used for decorative purposes, which must be kept neat and clean.

**Note:** Policy 7427.7 allows only one barbeque to be stored on open patios.

**B. Patio Extension Regulations**

The purpose of this policy is to give shareholders a choice to construct a new patio extension into the area outside the original footprint of their unit. Before submitting plans for a new patio extension, please read this policy thoroughly.

Patio extensions are defined as cement or paved roofless deck areas adjoining your unit. All requests for new patio extensions must adhere to this policy or otherwise will be denied.

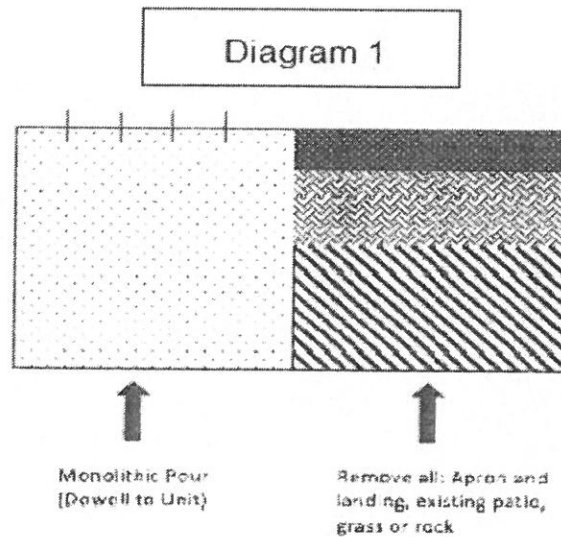
**Note: Policy 7493.7 prohibits roof covers on patio extensions.**

1. New patio extensions may be allowed on a case by case basis ~~and be site specific.~~ **Due to the asymmetrical configuration of the Mutual 7 lots, they will be site specific.** Patio size may be approximately 100 square feet of usable area and be constructed of concrete, pavers, flagstone, brick, or other like materials.
2. Patio deck materials must be slip resistant and approved by Physical Properties. Grading will follow the existing slope of the lawn unless the patio incorporates an enclosure wall. All patio decks will provide the appropriate drainage.
3. Access to the patio area may be through patio doors or a path connecting to the front door walkway.
4. **a.** Allowances may be made for non-usable area due to obstructions. Examples of obstructions are: air conditioners, transformers, utility trenches, and irrigation valves. Colors will be in earth tones of browns, beiges, grays, red brick, or similar earth tone shades.

(Drafted on 08/11/16 jl)

**MUTUAL OPERATIONS****PHYSICAL PROPERTY****Patio Regulations – Mutual Seven**

- b. A “monolithic pour” is required to mitigate concrete movement and improve structural integrity. Any existing apron, landing, or patio slab will be removed. In each joint where new concrete is placed against old, the area of contact will be dowelled. The entire patio will be reinforced with rebar or welded wire. The patio cannot be poured until approved by Physical Properties Department. (See Diagram 1)**



5. Permits are required to insure that all modifications and improvements meet City codes, Leisure World and Mutual policies. Permits required by the Physical Property Department and the city of Seal Beach are the responsibility of the shareholder and contractor.
6. Before the permit is issued, detailed specifications and plans for all additions and changes must be submitted to the GRF Physical Property Department for review and then reviewed and approved by the Mutual Board of Directors. The plan will include the relocation of utilities and irrigation systems.

(Drafted on 08/11/16 jl)

**MUTUAL OPERATIONS****PHYSICAL PROPERTY****Patio Regulations – Mutual Seven**

7. No construction of any kind shall be commenced, erected or maintained until the plans and specifications showing the size, color, shape, height, materials, and location of the patio extension are submitted to, and approved in writing, by the Mutual Seven Board of Directors. All construction must be done by a licensed and approved Leisure World contractor.
  8. **Any application to construct a patio extension must be submitted to the Mutual 7 President ten (10) working days prior to the Monthly Board Meeting in order for the application to be placed on the agenda and to allow directors time to review it. Further, a completed Agreement to Patio Regulations (filled out and signed by each shareholder) AND proof of \$300,000 liability insurance must be submitted before any consideration by the Board of Directors.**
  9. Patios will not interfere with access to in-ground electrical wiring, communication utilities, above ground transformers, air conditioners, or attic entrance areas. The plan layout must describe access to all the above items.
  10. Only a few pieces of outdoor patio furniture and accessories may be placed on the patio deck. Typical items not approved for patio extensions are, but not limited to, portable heaters, portable fire pits, tiki torches, refrigerators, freezers, etc. Clutter and non-patio items are prohibited and must be removed per Mutual Seven Policy 7415.7. Violators will be notified in writing when out of compliance.
  11. A 5 inch cement mowing strip is required where the patio is adjacent to a grass area.
  12. Patio extensions are non-standard additions to a unit and all costs associated with construction, maintenance, repair, etc., will be borne by the shareholder requesting the patio extension. When the unit is sold or transferred to another shareholder, the new shareholder will become responsible for the patio extension.
  13. It is incumbent upon the shareholder to ~~retain liability insurance for new patio extensions.~~ **maintain \$300,000 liability insurance for new patio extensions, as described in #8 of the Agreement to Patio Regulations.**
- C. Patio Enclosure Walls (End Units)
1. **a.** An enclosure wall may be added to new patio extensions for **on** end units only. Enclosure walls can be constructed of brick, flagstone, slump stone, stack stone, or similar decorative masonry building materials. All walls will incorporate the appropriate drainage features.

(Drafted on 08/11/16 jl)

**MUTUAL OPERATIONS****PHYSICAL PROPERTY****Patio Regulations – Mutual Seven****b. An enclosure wall of at least 24 inches in height must be constructed in all cases where there is a drop of any distance from the patio to the sidewalk.**

2. Walls may also be constructed of concrete block and surfaced with stucco the same color as the building. Electrical outlets, lighting and plumbing are prohibited on patio extension walls.
3. Enclosure walls may be constructed on top of existing retainer walls providing the retainer wall has a cement foundation. The method of construction must incorporate rebar and ensure a stable structure. Drawings of the enclosure wall must be submitted to City of Seal Beach and Physical Properties.
4. Colors will be in earth tones of browns, beiges, grays or similar earth tone shades. All walls will include masonry caps in the same or contrasting earth tone colors.
5. When an adjacent neighbor's wall already exists, the newly constructed wall will complement the existing wall.
6. Wall heights including the cap will be **no more than** 35 inches high measured from the patio deck. Potted plants on walls **adjacent to the sidewalk** are prohibited.
7. **All patio wall enclosures must include a minimum 3 foot egress as an integral part of the patio wall design.** Access openings through walls will meet emergency egress and safety codes for disabled/wheelchair shareholders/members and paramedic gurneys when applicable.
8. Access openings may include gates as an integral part of the patio design. Gates must meet all safety/fire department codes and regulations. Gates must be non-locking and made of wood or wrought iron. Gate colors will compliment the patio walls. Wood gates must be protected from insect infestation and treated with Tim-Bor professional insecticide or equivalent. Gates are to be primed and painted.
9. Walls and gates are non-standard additions to a unit and all costs associated with construction, maintenance, repair, etc., will be borne by the shareholder requesting the patio extension. When the unit is sold or transferred to another shareholder, the new shareholder will become responsible for the decorative wall and gate.

**MUTUAL ADOPTION****AMENDMENTS**

SEVEN: 11-11-05

06-18-10, 01-18-12, 08-18-15

(Drafted on 08/11/16 jl)