

**A G E N D A**  
**REGULAR MONTHLY MEETING OF THE BOARD OF DIRECTORS**  
**SEAL BEACH MUTUAL SEVEN**  
**Wednesday, March 15, 2017**  
**1:00 p.m.**

1. SHAREHOLDER(S)' COMMENTS
  2. CALL TO ORDER / PLEDGE OF ALLEGIANCE
  3. ROLL CALL
  4. INTRODUCTION OF GUESTS AND STAFF:
    - Ms. Rapp, GRF Representative
    - Ms. Hopkins, Mutual Administration Director
    - Ms. Miller, Finance Director
    - Mr. Hurtado, Building Inspector
    - Mrs. Aquino, Recording Secretary
  5. APPROVAL OF MINUTES: **Regular Meeting of February 15, 2017**  
**Special Meeting of February 8, 2017 (page 3)**  
**Special Meeting of February 22, 2017 (page 4)**
  6. CORRESPONDENCE Ms. Rettela
  7. BUILDING INSPECTOR'S REPORT (pages 5-6) Mr. Hurtado
  8. GUEST SPEAKER – Presentation of 2017 Financial Statements Ms. Miller
- STAFF BREAK (TIME TO BE DETERMINED BY PRESIDENT)**
9. Roofing Project Overview
  10. Asphalt Carports 181, 182, 85, 86, 87, 88, 89
    - a. Trenching at asphalt for future solar
  11. CHIEF FINANCIAL OFFICER'S REPORT Mrs. Fellows
    - a. Reserve Study
  12. UNFINISHED BUSINESS
    - a. Report Underground Vaults
  13. NEW BUSINESS –
    - a. Discuss Policy 7549 – Lockout Procedures (death of shareholder) (pages 7-8)
    - b. Annual Shareholders' Meeting – morning social, lunch
    - c. Rescind Policy 7491 – Roof Extensions; Policy 7403.5 – Skylights in Permanent Roof Extension; Policy 7403.4.7 – Skylights (pages 9-14)
    - d. Emergency Information / Mutual Responsibilities Mrs. Rogers
    - e. Rescind Policy 7512 – Guarantor Agreement Form (pages 15-16)
    - f. Amend Policy 7499.07 – Air Conditioning/HVAC/Heat Pump Units (pages 17-18)

g. Policy Committee - update

Policy 7465.07 – Skylights & Sola Tubes (pages 19-21)

Policy 7405.07 – Flooring and Floor Covering Permits (page 22)

Policy 7427.07 – Barbeque, Turkey Fryer – Usage and General Safety Precautions  
(Rescind 7427.G – Barbeque – Usage and General Safety Precautions) (pages 23-26)

Policy on Park Benches

Policy on Drones

- |   |             |
|---|-------------|
| 14. MUTUAL ADMINISTRATION DIRECTOR'S REPORT | Ms. Hopkins |
| 15. GRF REPRESENTATIVE'S COMMENTS           | Ms. Rapp    |
| 16. DIRECTOR(S)' COMMENTS                   |             |
| 17. SHAREHOLDER(S)' COMMENTS                |             |
| 18. ANNOUNCEMENTS                           |             |
| 19. ADJOURNMENT                             |             |
| 20. EXECUTIVE SESSION – (member issues)     |             |

**STAFF WILL LEAVE THE MEETING BY 4:10 P.M.**

**NEXT MEETING: WEDNESDAY, APRIL 19, 2017, at 1:00 p.m.  
ADMINISTRATION BUILDING-CONFERENCE ROOM A**

cd:3/09/17

**MINUTES OF THE SPECIAL MEETING OF THE BOARD OF DIRECTORS  
SEAL BEACH MUTUAL SEVEN**

**February 8, 2017**

A Special Meeting of the Board of Directors of Seal Beach Mutual Seven was called to order by President Rotter at 1:07 p.m. on Wednesday, February 8, 2017, in Clubhouse Five, Physical Property Conference Room, 2<sup>nd</sup> Floor.

Those members present were: President Rotter, Vice President Rogers (2:00 p.m.), Secretary Rettela, CFO Fellows, and Directors Bennett and Hart.

The purpose of the meeting was to discuss the Roofing Project options.

There being no further business to conduct, President Rotter adjourned the meeting at 4:06 p.m.

---

Attest

Joyce Rettela, Secretary  
SEAL BEACH MUTUAL SEVEN  
cd:2/13/17

**MINUTES OF THE SPECIAL MEETING OF THE BOARD OF DIRECTORS  
SEAL BEACH MUTUAL SEVEN**

**February 22, 2017**

A Special (Work Study) Meeting of the Board of Directors of Seal Beach Mutual Seven was called to order by President Rotter at 1:15 p.m. on Wednesday, February 22, 2017, in Building 5, Physical Property Conference Room, 2<sup>nd</sup> Floor.

Those members present were: President Rotter, Vice President Rogers, Secretary Rettela, CFO Fellows, and Directors Bennett and Hart

The purpose of the meeting was to discuss the Roofing Project options.

There being no further business to conduct, President Rotter adjourned the meeting at 4:20 p.m.

---

Attest

Joyce Rettela, Secretary  
SEAL BEACH MUTUAL SEVEN  
cd:2/24/17

# INSPECTOR MONTHLY MUTUAL REPORT

MUTUAL: **(07) SEVEN**

INSPECTOR: **George Hurtado**

MUTUAL BOARD MEETING DATE: **March 15, 2017**

## PERMIT ACTIVITY

UNIT #	DESCRIPTION OF WORK	GRF/CITY PERMIT	PERMIT ISSUE	COMP. DATE	CHANGE ORDER	RECENT INSPECTION	CONTRACTOR / COMMENTS
167I	re-surface patio	yes	11/10/16	02/14/16	no	complete	Stoneways
158B	shower, dishwasher	yes	11/23/16	02/28/17	no	complete	Mamuscia Construction
156G	patio, block wall	yes	12/19/16	02/10/16	no	rebar insp 3/7/17	Gary Tesch
163H	bath and kitchen skylights	yes	01/10/17	03/03/17	no		Bergkvist
147G	floor, washer, dryer, counters	yes	02/10/17	04/14/17	no	rough plumbing 3/1/17	Kang Construction
149E	ADA shower	yes	02/08/17	03/13/17	no	final 3/1/17	Nu Kote

## ESCROW ACTIVITY

UNIT #	NMI	PLI	NBO	FI	FCOEI	ROF	DOCUMENTS/COMMENTS
155I			01/09/17	01/09/17	01/19/17		
145L		01/24/17					
145F			01/27/17				
147G			01/19/17	01/19/17	01/31/17		
155K	2/8/2017						

NMI = New Member Inspection    PLI = Pre-Listing Inspection    NBO = New Buyer Orientation  
 FI = Final Inspection    FCOEI = Final COE Inspection    ROF = Release of Funds

## CONTRACTS

CONTRACTOR	PROJECT
Fenn	termites and pests
Total Landscape	gardening
Empire Pipe	sewer cleaning
Innovative Cleaning Services	laundry rooms / partitions
So Cal Fire Protection	fire extinguishers

## SPECIAL PROJECTS

CONTRACTOR	PROJECT

# INSPECTOR MONTHLY MUTUAL REPORT

MUTUAL: (07) SEVEN

INSPECTOR: George Hurtado

MUTUAL BOARD MEETING DATE: **March 15, 2017**

## APARTMENT VISITS

### ROOF LEAKS

163A	bedroom
165C	patio
165E	patio
164E	bath
147E	bedroom
168E	den skylight
153C	kitchen skylight
159A	patio
159G	bedroom
152D	enclosure skylight
158D	bath fan
164D	livingroom
166J	bath skylight
168F	den
156L	kitchen skylight
155D	bath
165H	bedroom
165I	patio
163K	patio
170E	bath fan
165G	livingroom
165B	patio
171E	livingroom
158J	skylight
158L	bedroom
153J	patio
149K	patio skylight
158C	dining room
167K	kitchen skylight
152I	patio
156A	kitchen skylight
153J	patio
173A	bedroom
171B	livingroom

MUTUAL OPERATIONS**DRAFT 2-25-17**RESIDENT REGULATIONSLockout Procedures

The following will be in effect for units after the death of a shareholder/owner:

1. Death with Surviving Shareholder/Owner Living in the Unit

If the death of the shareholder/owner occurred at the unit and a surviving shareholder/owner is living in the unit at the time, a Bereavement Book will be left at the unit by Security.

If the death of the shareholder/owner occurred outside the unit and a surviving shareholder/owner is living in the unit at the time, a Bereavement Book will be provided by Foundation personnel at the time the death is reported.

2. Death of Sole Owner

a. Unattended Death

If death is unattended and the unit is sealed per law enforcement or coroner's order, then no one may access the unit until official next-of-kin determination is made by the coroner's office. Security will leave a Bereavement Book at the unit and place a knoblock on the door. If the door cannot accommodate a knoblock, a plywood sheet shall be affixed over the door. If someone comes forward as Trustee, non-resident co-owner or with other legal authority, Foundation personnel must check with the coroner's office before permitting access to the unit.

b. Attended Death

Security will identify on the DOA report those present at the time of death, including family members, hospice workers, caregivers, and other individuals. A Bereavement Book will be left at the unit. If someone present is identified as legal authority of the unit and can provide evidence of same, Security will instruct them to visit the Stock Transfer Office as soon as possible. Security will inform all persons present that no one may stay in the unit overnight without Mutual permission, unless they are a registered caregiver or co-occupant.

If legal authority is not established at the unit via documentary evidence, all persons present will be asked to leave the unit until legal authority is established at the Stock Transfer Office. From there, the unit will be knoblocked or a plywood sheet shall be affixed to the door. The exception to this is if a registered co-occupant or caregiver lives at the unit, or if Mutual permission is obtained.

**MUTUAL OPERATIONS****DRAFT 2-25-17****RESIDENT REGULATIONS****Lockout Procedures**3. Reporting of Death to Mutual President

Shareholder/owner deaths shall be reported to the Mutual President within one (1) to two (2) business days with the following information:

- a. Name of decedent
- b. Date and location of death
- c. Identification of persons present at unit (if any)
- d. Name, relationship and contact information of surviving shareholder/owner (if any)
- e. Name, relationship and contact information of decedent's emergency contacts (if no surviving shareholder/owner is present at the unit)
- f. If legal authority has been established
- g. If/how the unit was secured
- h. If there are any registered co-occupants, caregivers or pets at the unit

**MUTUAL ADOPTION****Mutual: date**



**MUTUAL OPERATIONS**

**RESCIND MUTUAL SEVEN**

**PHYSICAL PROPERTY**

**Roof Extensions**

**RESOLUTION:**

WHEREAS some residents of this Mutual have requested permission to remodel the building in which they reside by extending the roof structure to cover the existing patio area, and

NOW THEREFORE BE IT RESOLVED that the Physical Property Department of the Golden Rain Foundation is hereby authorized to approve individual requests by residents for this remodeling and issue a building permit in the regular form for this work, subject to the following conditions:

1. The contractor performing the work must be a contractor licensed in the State of California as a General Contractor.
2. The contract form to be used will be the standard contract form as developed by the Physical Property Department.
3. The construction will conform to the plans and specifications approved by the architect of the Los Angeles Office of the Federal Housing Administration.
4. A building permit will be obtained from the City of Seal Beach, California.
5. Resident agrees that title to the remodeling and addition shall vest in the Mutual Corporation.

**MUTUAL ADOPTION**

ONE	02-25-01	NINE	<del>11-19-74</del> – rescinded 3-14-16
TWO	11-20-69	TEN	01-27-71
THREE	10-20-69	ELEVEN	10-16-69
FOUR	10-27-69	TWELVE	01-09-69
FIVE	11-19-69	FOURTEEN	05-05-70
SIX	10-24-69	FIFTEEN	09-04-74
SEVEN	11-21-69	SIXTEEN	12-11-74
EIGHT	04-26-74	SEVENTEEN	Not Applicable

(Draft created 3-08-17 cd)

MUTUAL OPERATIONS**RESCIND MUTUAL SEVEN**

## PHYSICAL PROPERTY

Skylights in Permanent Roof Extension – Except Mutual One, Three, Six, and Sixteen

## RESOLUTION

THAT Mutual \_\_\_\_\_ authorizes the Physical Property Department to issue permits for the installation of skylights in patio permanent roof extensions, as approved by HUD and according to the following Mutual specifications:

1. Size
  - a. 32" x 64"
2. Number
  - a. One only per apartment
  - b. Two per apartment
  - c. Three per apartment
3. Location
  - a. Over entry way
  - b. Over front patio
    1. In front of bedroom
    2. In front of living room
4. Position
  - a. Thirty inches in front of building stucco wall
  - b. Long side of skylight parallel with rafters
  - c. Long side of skylight across the rafters
    1. Middle rafter may be cut and headered in

(The number and location of skylights vary in each Mutual; please refer to the Mutual minutes that corresponds to the adoption dates listed below).

(Jan 17)

MUTUAL OPERATIONS**RESCIND MUTUAL SEVEN****PHYSICAL PROPERTY****Skylights in Permanent Roof Extension – Except Mutual One, Three, Six, and Sixteen****Mutual Five - Effective 9-20-00**

NOTWITHSTANDING PREVIOUS ACTIONS by the Mutual No. Five Board, a skylight may be placed in any room of an apartment when the Mutual Board determines attic space at the place of choice does not inhibit a particular installation. In the kitchen and original bathroom area, a skylight shall not exceed 24" X 24" in either length or width, but the "tunnel" may be flared. In other approved locations, skylights may be up to 36" X 60" but not flared unless the Mutual Board allows an exception.

**Mutual Nine - Effective October 11, 2004**

At the time of installation or replacement of skylights or skylight domes, single-sided foam tape must be applied between the frame and skylight dome. Further, that a maximum of five (5) skylights be allowed in a unit (includes any bathroom, kitchen, bedroom, or living room).

<u>MUTUAL ADOPTION</u>	<u>AMENDMENT(S)</u>	<u>MAXIMUM NO. OF SKYLIGHTS</u>
ONE:	07-25-85	3*(See 7465.1-Jan17)
TWO:	07-19-79	2
THREE:	08-18-80	3/2*(See 7403.3-Aug 16)
FOUR:	04-03-78	1
FIVE:	04-19-78	3 (See Policy 7465.5-Dec 2016)
SIX:	04-28-78	2 (See Policy 7465.6-Oct 2016)
SEVEN:	04-21-78	2
EIGHT:	01-23-84	2
NINE:	05-08-78	5
TEN:10-26-78	3	
ELEVEN:	08-19-82	2
TWELVE:	04-13-78	3
FOURTEEN:	10-28-77	3
FIFTEEN:	N/A	N/A
SIXTEEN:	11-19-84	3/2**(See 7465.16-Nov 16)
SEVENTEEN:	N/A	N/A

\*Maximum three skylights in a two-bedroom or corner unit; maximum two skylights in a one-bedroom unit.

\*\*Maximum three skylights in a two-bedroom unit, maximum two skylights in a one-bedroom unit.

(Jan 17)

**MUTUAL OPERATIONS****RESCIND POLICY****PHYSICAL PROPERTY****Skylights – Mutual Seven Only**

Maintenance of the roofs of residential buildings is defined by Article 11 of the Occupancy Agreement which states that maintenance of the roofs is the responsibility of the Mutual. Skylights may be installed through a contract between the resident and a licensed contractor under inspection of the Physical Property Department. All necessary permits must be obtained. The responsibility for maintenance of skylight installations requires definition and agreement.

A skylight may be placed in any room of the apartment when the Mutual Board determines that the attic space, at location of choice, does not inhibit a particular installation. In the kitchen and original bathroom area, a skylight may be 24" x 24" and may have a flared shaft. In other approved locations, the skylight may not exceed 30" x 60".

Solar tubes are acceptable. The maximum diameter of a solar tube is 16".

A maximum of four skylights or solar tubes may be installed in any one apartment roof.

The diagram shows a typical skylight installation, consisting of a dome to admit light, a wood shaft that extends from the dome down to the interior ceiling in the room, wood curbing for mounting the dome and steel flashing to make the installation watertight.

Responsibilities are as follows:

1. During the warranty period, the contractor is responsible for the entire skylight installation.
2. After the warranty period, the entire skylight or solar tube maintenance is the resident's responsibility. This includes, but is not limited to the curb, flashings, dome, operating mechanism, shaft, and ceiling grid. Inspections will be done annually by the GRF Physical Property Department. Notices will be sent to residents whose skylights need repairs. If repairs are not made by the resident within the specified time on the notice, the Mutual retains the right to have the skylight repaired at the resident's expense. This responsibility pertains to all skylights installed regardless of the installation date.

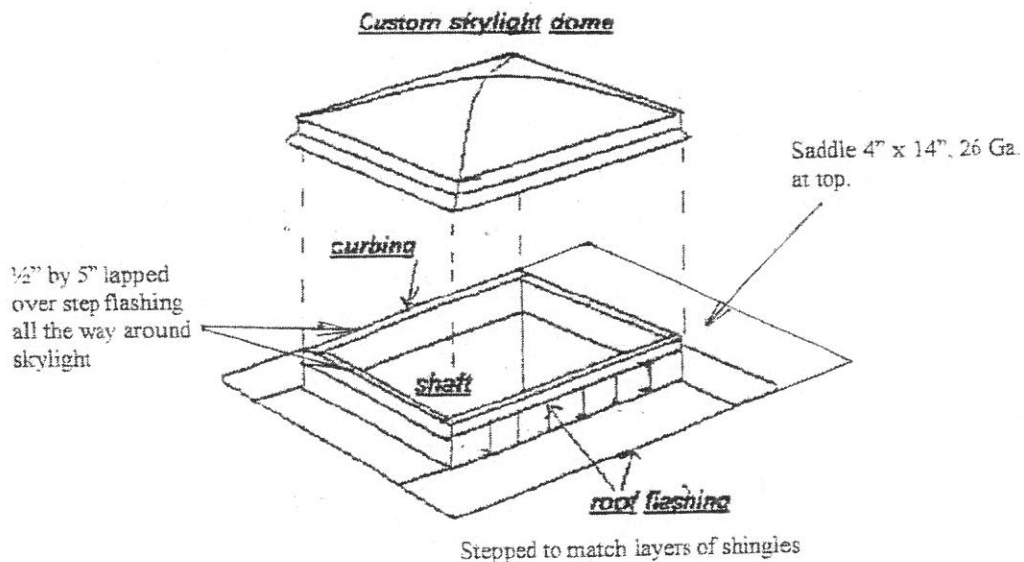
Mutual Seven has defined the following specifications with regard to skylight installations:

- 1) The skylight curbing shall consist of 2" x 6" framing with a minimum 4" rise above roof sheathing.
  - 2) All flashing material shall be at least 26-gauge and consist of galvanized sheet metal.
- (Jul 08)

MUTUAL OPERATIONS**RESCIND POLICY****PHYSICAL PROPERTY****Skylights – Mutual Seven Only**

- 3) The top flashing shall consist of a 4" x 14" saddle.
- 4) Flashing on the sides shall be 4" x 6" and stepped to match the layers of shingles.
- 5) The bottom flashing shall be a minimum of 4" x 6".
- 6) One-half-inch x 5" flashing shall be placed on top of the curb, lapped over step flashing, all the way around the skylight.
- 7) Only curb-mounted skylights shall be allowed in the Mutual. Self-flashing skylights are prohibited.

See Diagram on Page 3



(Jul 08)

Page 2 of 3

MUTUAL OPERATIONS

**RESCIND POLICY**

PHYSICAL PROPERTY

Skylights – Mutual Seven Only

MUTUAL ADOPTION

AMENDMENT

Seven: 15 Aug 86

18 Jul 08

(Jul 08)



MUTUAL OPERATIONS

**RESCIND ALL MUTUALS**

**RESIDENT REGULATIONS**

**Guarantor Agreement Form**

GOLDEN RAIN FOUNDATION  
a corporation

By \_\_\_\_\_

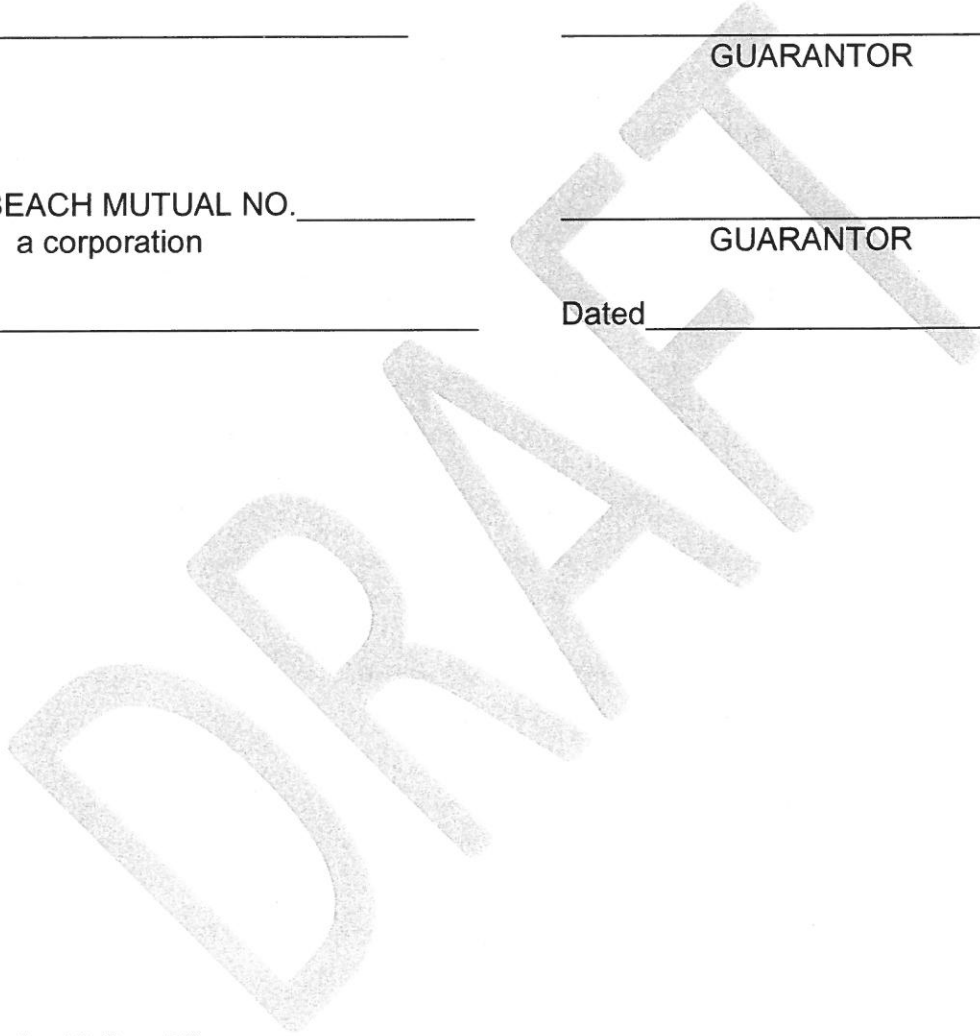
\_\_\_\_\_  
GUARANTOR

SEAL BEACH MUTUAL NO. \_\_\_\_\_  
a corporation

\_\_\_\_\_  
GUARANTOR

By \_\_\_\_\_

Dated \_\_\_\_\_



**GRB**  
Approved: 18 Dec 73

(Draft created 02-28-17 cd))



MUTUAL OPERATIONS**AMENDED DRAFT POLICY**

## PHYSICAL PROPERTY

Air Conditioning/HVAC/Heat Pump Units - Mutual Seven Only

In order to conform to revised requirements of the City of Seal Beach, the Uniform Building Code, and the regulations of the Physical Property Department of Leisure World, and in accordance with the previous practices of this Mutual, the installation of air conditioning units shall be approved and confirmed as follows:

1. Ducted air conditioning/heat pumps shall be placed in front of an apartment as close to the center as feasible on all inside units. Ducted air conditioning/heat pumps shall be placed on the short side of all corner apartments. All new installations and change outs will require a four-inch-thick poured concrete slab with a composite pad. Size shall not exceed 3.5 ton.
2. Ductless air conditioning/heat pumps shall be placed in front of an apartment within the drip line as close to the center of the apartment as feasible. All new installations and change outs will require a four-inch-thick poured concrete base with a composite pad.
3. All HVAC systems shall follow all current state and local codes. Both GRF and City of Seal Beach permits are required.
4. All new installations shall conform to the current local exterior noise ordinance. A noise suppresser blanket must be installed on each ducted installation around the compressor. The noise level of the air handler in the attic shall not exceed 44 DB.
5. All line sets and condensation lines shall be rodent-proofed. Condensation tie-ins at kitchen sink vent shall be: a) If using PVC pipe, use 1 ½" x ¾" PVC tee with 1 ½" no hub bands with ¼" mesh around pipe. b) If using copper pipe use 1 ½" x ¾" PVC tee with 1 ½" no hub bands. If the apartment is a remodel, run condensation line to washer/dryer hookup or a y-branch tail piece at bath sink.
6. Attic Access: Ducted units only. There must be attic access from the inside of resident's shareholder's apartment (usually in the kitchen or bathroom), or from the outside (for end apartments only), so the unit may be serviced and maintained. If attic access is required, it shall be a minimum 22" x 30"; and the cover shall be a combination of plywood laminated to a 5/8" Type X drywall, with the drywall facing the attic side.
7. Permits are required for all wall heaters. In all construction work where wall heaters replace the original ceiling heat source, a metal conduit or armored cable shall be used for the last six feet of line running from the breaker box to the wall heater(s).

MUTUAL OPERATIONS**AMENDED DRAFT POLICY**

## PHYSICAL PROPERTY

Air Conditioning/HVAC/Heat Pump Units - Mutual Seven Only

8. On the occasion of change of ownership, and with a charge against the seller's escrow:
- A. Existing ducted air conditioning/heat pumps not currently on a concrete base shall be corrected by installing a four-inch-thick poured concrete slab with a composite pad big enough for the unit.
  - B. Existing ductless air conditioning/heat pumps not currently on a poured concrete base shall be corrected by installing a four-inch-thick poured concrete slab with a composite pad big enough for the unit. The site will be level and compacted.
  - C. Existing heat pumps will be inspected and serviced as needed and condensation drain lines and line sets will be rodent-proofed. **Any ducted or ductless air conditioning/heat pumps over twelve years old will be replaced at the seller's expense.**
  - D. Landscaping or deco block, as per Item 11, will be suggested of the Buyer.**
9. All exposed refrigerant lines on the exterior walls of the building shall be covered by a sheet metal cover. All exposed lines (beginning and end) must be covered with sheet metal and/or expandable foam so they are rot-resistant and flame-, insect-, and vermin-proof. Lines must be installed inside the drip line.
10. If the noise level as cited above in Item 4 exceeds either of the two levels, the resident is responsible for having unit(s) repaired at once. If the unit is not repaired by the resident **shareholder**, the unit may not be used by the resident **shareholder**. If the Mutual repairs the unit, the resident **shareholder** will be billed for all expenses. Repair and maintenance of all units will be the responsibility of the resident **shareholder**.
11. Deco block, landscape shrubbery, or other type of blind, per Board approval, will be suggested for all new or replacement installations of ducted or ductless air conditioning/heat pump units where space permits and for aesthetic purposes only. The "blind" material used must be of a height and width to conceal the unit.

MUTUAL ADOPTION

SEVEN: 09-15-06

AMENDMENTS

07-18-08, 08-19-15

(Draft created 03-10-17 cd)

**MUTUAL OPERATIONS****ADOPT NEW DRAFT POLICY****PHYSICAL PROPERTY****Skylights & Sola Tubes – Mutual Seven**

Maintenance of the roofs of residential buildings is defined by Article 11 of the Occupancy Agreement which states that maintenance of the roofs is the responsibility of the Mutual. Skylights or sola tubes may be installed through a contract between the shareholder and a licensed contractor under inspection of the Physical Property Department. All necessary permits must be obtained. The responsibility for maintenance of skylight or sola tube installations requires definition and agreement.

The maximum number of skylights and or sola tubes may not exceed four (4) total in any one unit roof.

Sola tubes are acceptable. The maximum diameter of a sola tube is 14”.

A skylight may be placed in any room of the unit when the Mutual Board determines that the attic space, at location of choice, does not inhibit a particular installation. In the kitchen and original bathroom area, a skylight may be 22”x 22” and may have a flared shaft. In other approved locations, the skylight may not exceed 30” x 60”.

The diagram shows a typical skylight installation, consisting of a dome to admit light, a wood shaft that extends from the dome down to the interior ceiling in the room, wood curbing for mounting the dome and steel flashing to make the installation watertight.

Responsibilities are as follows:

1. During the warranty period, the contractor is responsible for the entire skylight installation.
2. After the warranty period, the entire skylight or sola tube maintenance is the shareholders responsibility. This includes, but is not limited to the curb, flashings, dome, operating mechanism, shaft, including painting, and ceiling grid. (See Diagram 1)
3. Inspections will be done annually by the GRF Physical Property Department. Notices will be sent to shareholders whose skylights or sola tubes need repairs. If repairs are not made by the shareholder within the specified time on the notice, the Mutual retains the right to have the skylight or sola tube repaired at the shareholder’s expense. The shareholder responsibility pertains to all skylights or sola tubes installed regardless of the installation date.

Mutual Seven has defined the following specifications with regard to skylight/sola tubes installations:

(Draft created 03-09-17 cd)

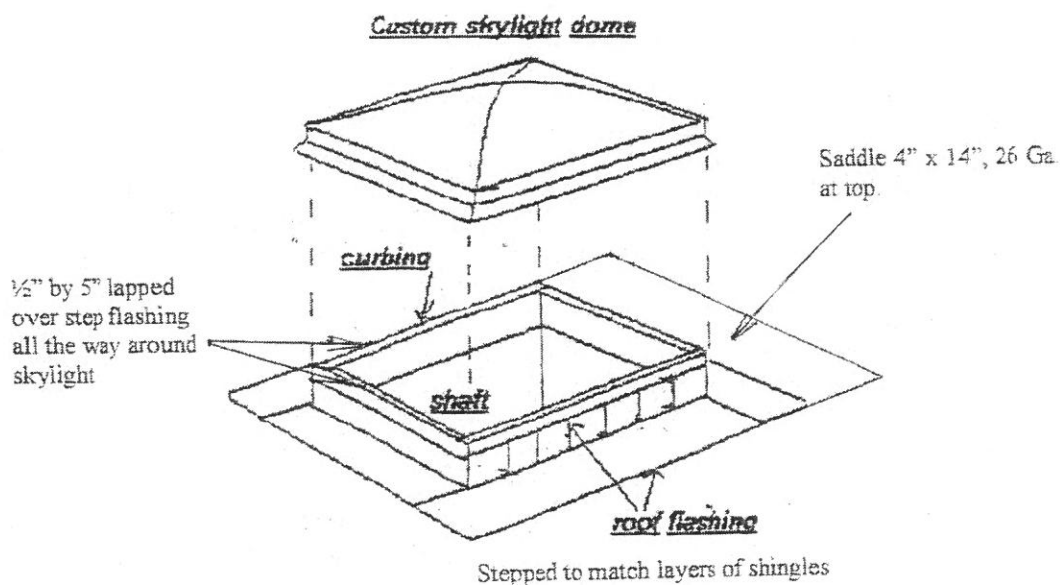
MUTUAL OPERATIONS**ADOPT NEW DRAFT**

## PHYSICAL PROPERTY

Skylights & Sola Tubes – Mutual Seven

1. The skylight curbing shall consist of 2" x 6" framing with a minimum 4" rise above the roof sheathing and flashing. (See Diagram 2)
2. Only curb-mounted skylights shall be allowed in the Mutual. Self-flashing skylights are prohibited.
3. Sola tubes shall be installed in accordance with manufacture specification.

## Diagram 1



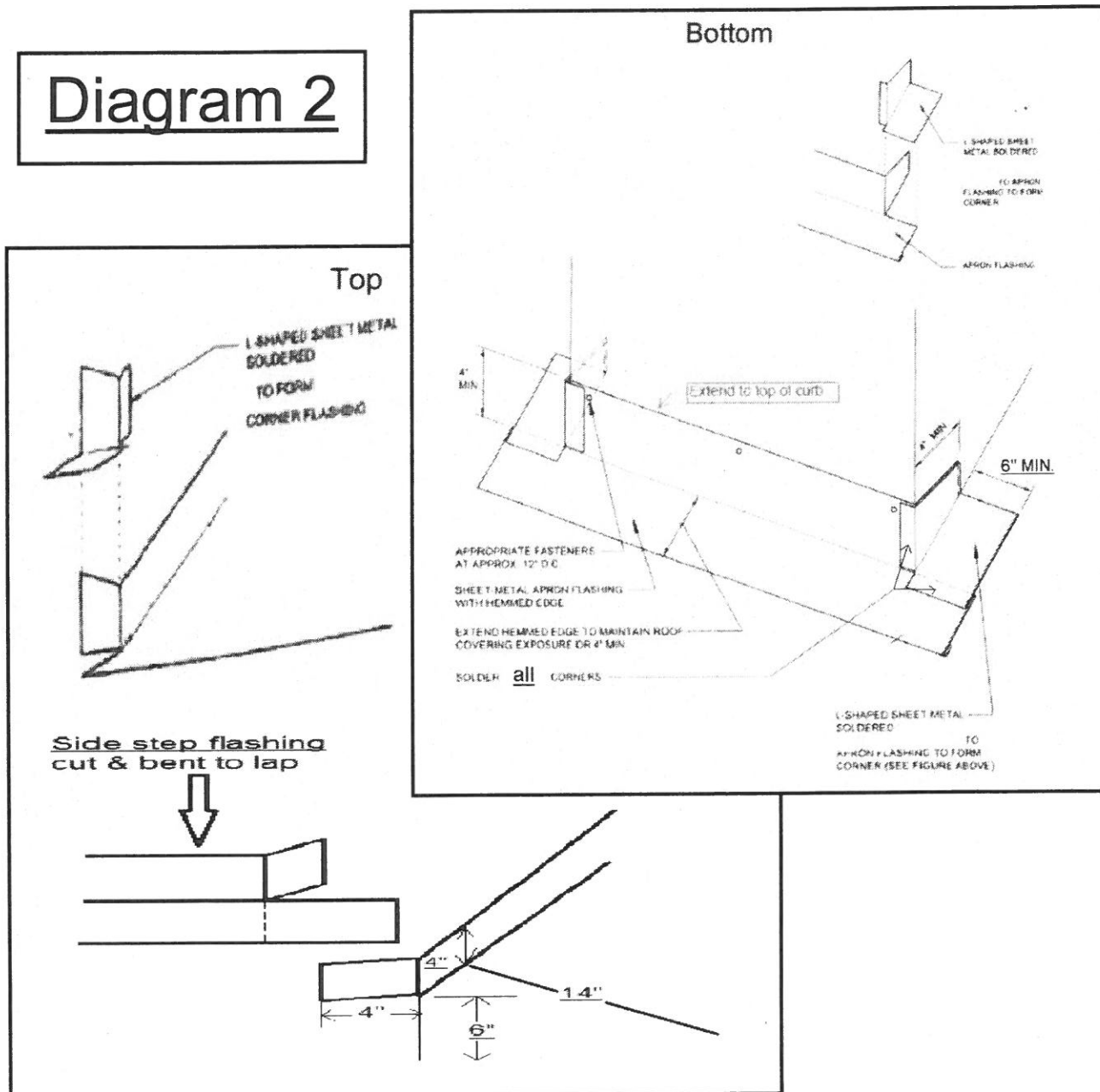
MUTUAL OPERATIONS

**ADOPT NEW DRAFT**

PHYSICAL PROPERTY

Skylights & Sola Tubes – Mutual Seven

**Diagram 2**



MUTUAL ADOPTION

SIX:

(Draft created 03-09-17 cd)

MUTUAL OPERATIONS

## PHYSICAL PROPERTY

DRAFT

Flooring and Floor Covering Permits – Mutual SevenBuilding Permit – to include wood, tile and stone

Effective immediately, Mutual Seven requires a GRF Building Permit for all wood, tile and stone floor installation at Shareholder expense.

If original flooring is disturbed all abatement procedures for asbestos will be required. All testing reports and EPA/AQMD permits will be required as needed. Copies of permits and testing reports shall be filed with GRF flooring permit.

Reason for this requirement includes:

- Assurance that no asbestos contained material is removed or compromised.
- No Mutual property is damaged.
- Interior/exterior patio/porch flooring is appropriate (for example – if tile on patio and interior of the unit – nonskid.
- When any patio flooring is altered the first panel of the entry sidewalk shall be removed and then replaced to the same elevation at new patio floor with appropriate slop to existing remaining entry sidewalk.
- At sale or transfer of the unit when existing patio floor is not same elevation as existing entry sidewalk the first panel of entry sidewalk must be replaced as noted above at the seller's expense.
- Shareholder understands that Mutual Seven is not responsible for damage to, or failure of, flooring purchased and installed by shareholders.

MUTUAL OPERATIONS**DRAFT POLICY WITH AMENDMENTS****PHYSICAL PROPERTY****Barbeque, Turkey Fryer – Usage and General Safety Precautions – Mutual Seven**Barbeque/Turkey Fryer Usage

- 1) Propane, butane, charcoal barbeques, turkey fryers, or other type barbecues shall only be used in a location that is at least 10 feet away from all structures. They are permitted to be used on sidewalks and lawns if it is safe to stand on the lawn when using them. After barbequing, the barbeque may be left in place overnight to allow the appliance, charcoal, or oil to cool down (~~CA Fire Code Section 1102.5.2.2~~).
- 2) Propane, butane, charcoal barbeques, turkey fryers, or other type barbecues shall not be used under a patio roof due to the possibility of large flare-up flames while cooking (~~CA Fire Code Section 1103.3.2.6~~).
- 3) Propane, butane, charcoal barbeques, turkey fryers, or other type barbecues shall never be used inside an apartment for cooking, heating or storage purposes (~~CA Fire Code Section 1103.2.6~~).

Charcoal Briquettes

If charcoal briquettes are used, a bucket of water must be kept near the barbeque in order to douse the flame if it gets out of control.

In order to prevent possible spontaneous combustion, charcoal briquettes, especially the self-starting type, may not be stored in the sun on the patio.

Charcoal briquettes must be left in the barbecue to cool down before disposing of them. **DO NOT** place hot charcoal briquettes in trash cans or bins, and **ALWAYS** make sure that the fire is extinguished before disposing of ashes.

Turkey Fryer Oil

Oil from turkey fryers must be returned to the original oil container, **closed** and disposed of in trash bins. Oil cannot be poured in **ANY** drains including sinks, **toilets**, and storm drains.

Barbeque Storage

- 1) Propane, butane, charcoal barbeques, turkey fryers, or other type barbecues shall be stored on the outside, open patio of apartments, but never stored in an enclosed patio.
- 2) Propane, butane, charcoal barbeques, turkey fryers, or other type barbecues shall not be stored inside an apartment (~~CA Fire Code Section 1103.3.2.6~~).

**(date)**

MUTUAL OPERATIONS

**DRAFT POLICY WITH AMENDMENTS**

PHYSICAL PROPERTY

Barbeque, Turkey Fryer – Usage and General Safety Precautions – Mutual Seven

- 3) Propane, butane, or other compressed gas shall not be stored on an enclosed patio or inside a apartment unit.

Barbeque Smokers

Barbeque smokers are not permitted.

DRAFT

MUTUAL ADOPTION  
SEVEN: 09-19-12

AMENDMENT(S)  
\*date after 30day posting period\*

(date)



MUTUAL OPERATIONSRESCIND – MUTUAL SEVEN

## PHYSICAL PROPERTY

Barbeque – Usage and General Safety PrecautionsBarbeque Usage

- 1) Propane, butane or charcoal barbeques shall only be used in a location that is at least 10 feet away from all structures. Mutual Two allows the use of barbeques outside as long as it is not underneath the eaves. After barbequing, the barbeque may be left in place overnight to allow the appliance or charcoal to cool down.
- 2) Propane, butane or charcoal barbeques shall not be used under a patio roof due to the possibility of large flare-up flames while cooking.
- 3) Propane, butane or charcoal barbeques shall never be used inside an apartment for cooking, heating or storage purposes.

Charcoal Briquettes

Mutual Two: Charcoal barbeques are not permitted.

Mutual Four: Charcoal barbeques are not permitted.

Mutual Eleven: Charcoal barbeques are not permitted.

Mutual Twelve: Charcoal barbeques are not permitted.

If charcoal briquettes are used, a bucket of water must be kept near the barbeque in order to douse the flame if it gets out of control.

In order to prevent possible spontaneous combustion, charcoal briquettes, especially the self-starting type, may not be stored in the sun on the patio.

Charcoal briquettes must be left in the barbecue to cool down before disposing of them. **DO NOT** place hot charcoal briquettes in trash cans or bins, and **ALWAYS** make sure that the fire is extinguished before disposing of ashes.

Barbeque Storage

- 1) Propane, butane or charcoal barbeques shall be stored on the outside, open patio of ground floor apartments, but never stored in an enclosed patio. If a unit has no patio, the barbeque must be covered and stored in the garden area adjacent to the main entry walkway.
- 2) Propane, butane or charcoal barbeques shall not be stored inside an apartment.
- 3) Propane, butane, or other compressed gas shall not be stored on an enclosed patio or inside an apartment.

**MUTUAL OPERATIONS****RESCIND – MUTUAL SEVEN****PHYSICAL PROPERTY****Barbeque – Usage and General Safety Precautions****Mutual Seventeen Only**

Due to the possibility of smoke and fumes entering other apartments, and in order to be in compliance with the Fire and Safety Precautions, barbeques of any kind are not permitted anywhere within the property boundaries of Mutual Seventeen.

**MUTUAL ADOPTION**

One	06-25-15
Two	03-19-15
Three	05-09-14
Four	05-13-15
Five	03-27-15
Six	03-27-15
Seven	04-17-15
Eight	08-25-14
Nine	04-14-14
Ten	08-27-14
Eleven	05-21-14
Twelve	05-10-14
Fourteen	03-28-15
Fifteen	03-16-15
Sixteen	04-18-14
Seventeen	N/A